

Internet: <http://www.dfc.state.ut.us>

CREATED BY: P+A architects

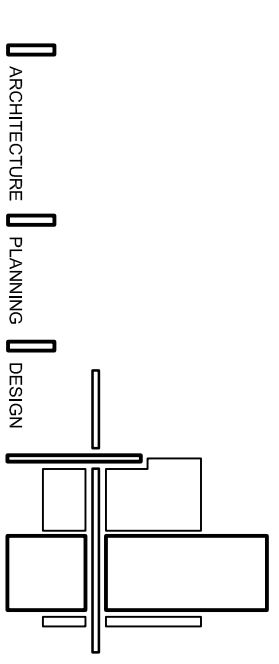
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BUILDING NAME

AUTO TRADES BLDG.

S.L.C.C.

TAYLORSVILLE, UTAH



PROJECT TITLE

S.L.C.C.

AUTO TRADES BLDG.

ROOFING

IMPROVEMENTS

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MARK	DATE
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ISSUE TYPE: CONSTRUCTION DOCUMENT

ISSUE DATE: 14 AI

DECM PROJCT NO. 00010000

CAD PROJECT N

TITLE SHEET

SHEET NUMBER

G-1000

SHEET 1 OF 6

REFERENCE NOTES

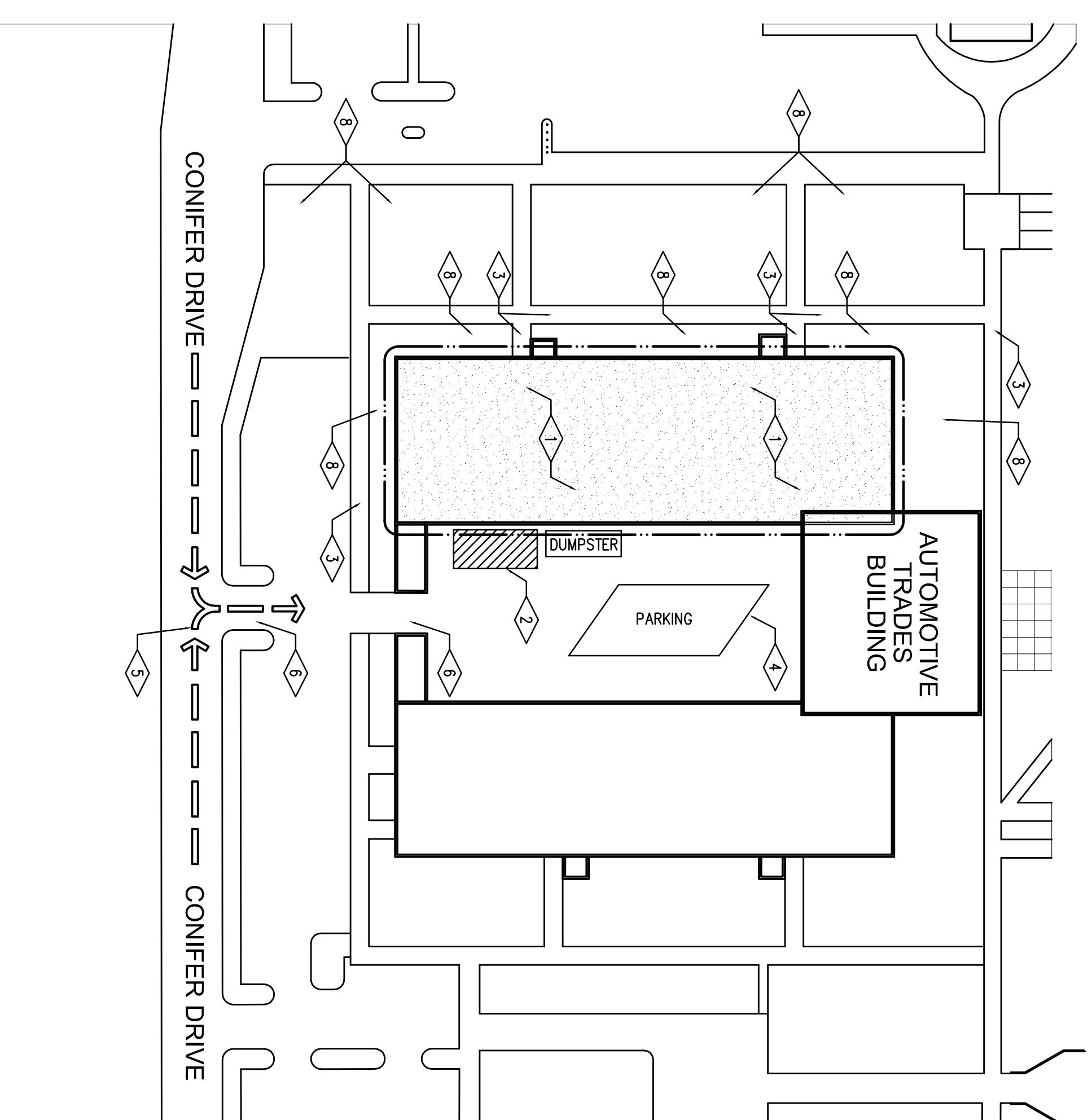
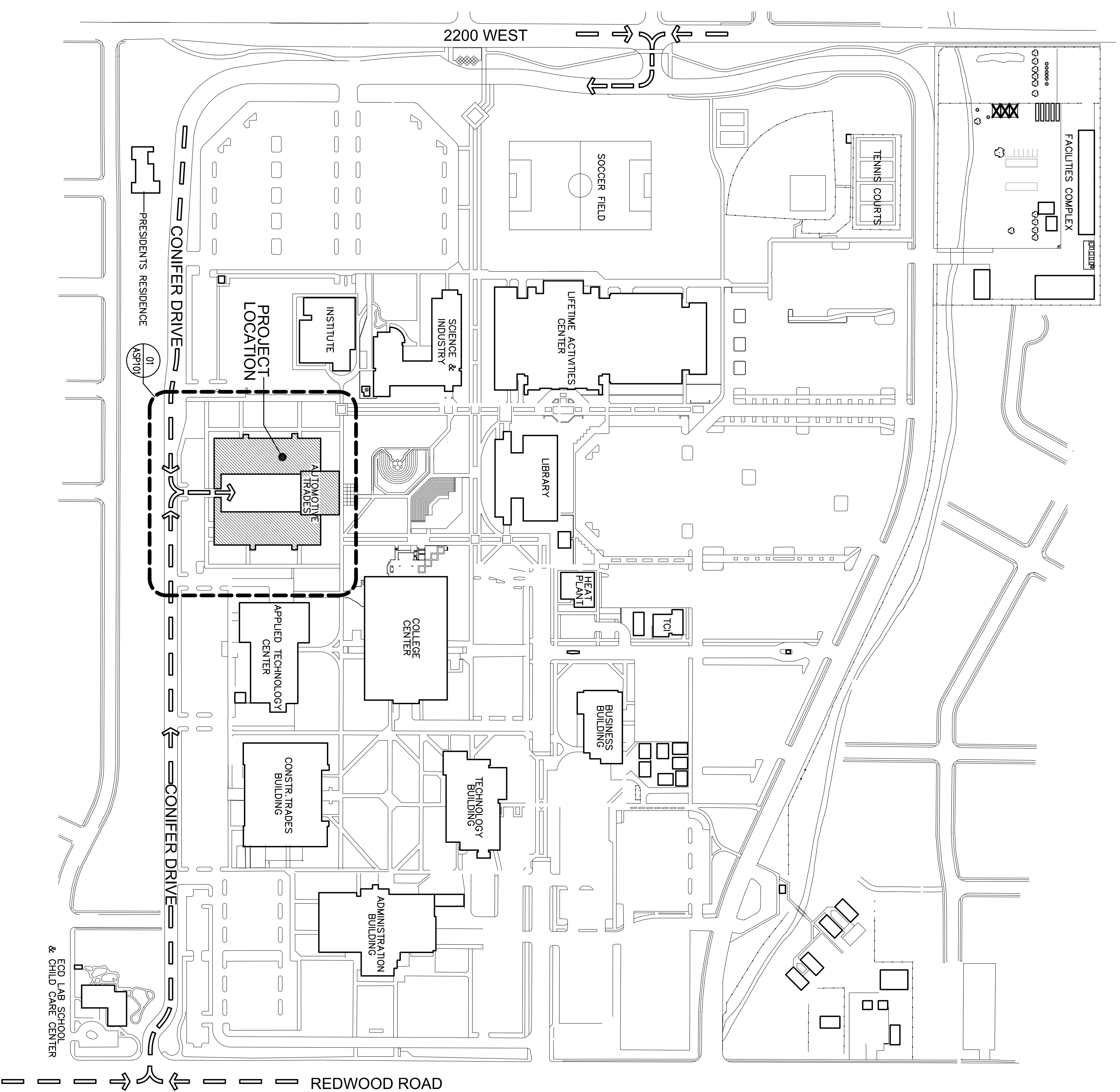
- PROJECT LOCATION
- GENERAL CONTRACTORS STAGING AREA
- EXISTING CONCRETE AND ASPHALT PATHWAYS TO REMAIN OPEN TO PEDESTRIANS AND VEHICLES AT ALL TIMES DURING CONSTRUCTION
- GENERAL CONTRACTORS PARKING AREA
- CONTRACTOR VEHICLE ACCESS TO CONSTRUCTION SITE
- EXISTING DRIVE APPROACHES TO REMAIN CLEAR AT ALL TIMES
- EXISTING SIDEWALKS TO REMAIN CLEAR AT ALL TIMES
- EXISTING AREA OF LANDSCAPING NOT TO BE DISTURBED

GENERAL NOTES

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY SIDEWALK, CURB & GUTTER, ASPHALT, LANDSCAPING ETC. DISTURBED OR DESTROYED DURING CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN EMERGENCY AND UTILITY VEHICLE ACCESS AT ALL TIMES TO ALL EXISTING BUILDINGS AND BUILDING ENTRANCES
3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO BIDDING.
4. GENERAL CONTRACTOR SHALL PROTECT EXISTING BUILDING FROM DAMAGE DURING CONSTRUCTION.

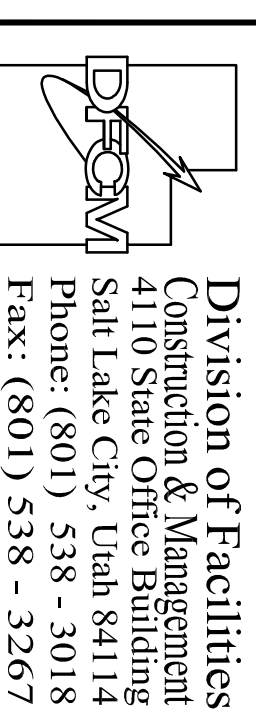
LEGEND

- CONTRACTOR STAGING AREA
- PARKING
- CONTRACTOR PARKING AREA
- DUMPSTER
- CONTRACTORS DUMPSTER LOCATION
- CONTRACT LIMIT LINE
- AREA OF EXISTING BUILDING TO BE REPOSESSED



State of Utah
Department of Administrative Services

Department of Administrative Services



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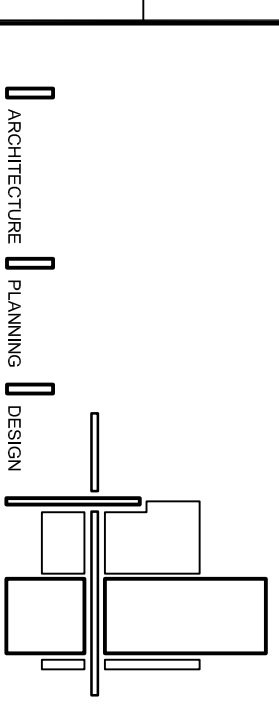
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S.L.C.C.

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ROOFING

IMPROVEMENTS

MARR	DATE	DESCRIPTION
ISSUE TYPE: CONSTRUCTION DOCUMENT		
ISSUE DATE: 14 AUGUST, 2006		
DDCM PROJECT NO: 06019660 CAD PROJECT NO: 2006-11 CAD DWG FILE: DRAWN BY: BRIAN AND SCOTT CHK'D BY: SCOTT COPYRIGHT: STATE OF UTAH		
SHEET TITLE		

SITE PLAN

SHEET NUMBER

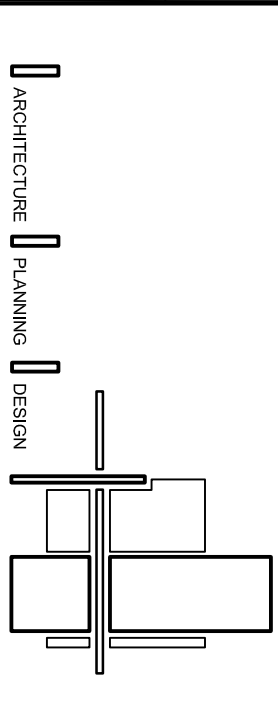
A-SP101

SHEET 3 OF 6

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ROOFING
IMPROVEMENTS

MARK	DATE	DESCRIPTION

ISSUE TYPE: CONSTRUCTION DOCUMENTS

ISSUE DATE: 14 AUGUST, 2006

DFCM PROJECT NO:

CAD DWG FILE:

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SHEET TITLE

NEW ROOF PLAN

SHEET NUMBER

A-RP101

REFERENCE NOTES

1. NEW TO ROOF MEMBRANE FULLY ADHERED TO $\frac{1}{2}$ " OPSIMA DEZN DECK. $\frac{1}{2}$ " OPSIMA DEZN DECK TO BE ADHERED TO TARGED EPS-X SYSTEM WITH LOW RISE FOAM. $\frac{1}{2}$ " OPSIMA DEZN DECK TO HAVE ALL SEAMS SEALED TO PREVENT LEAK. MEMBRANE ADHESIVE SYSTEM TARGED EXPANDED POLYSTYRENE TO BE FULLY ADHERED TO EXISTING LIGHTWEIGHT CONCRETE DECK WITH LOW RISE FOAM. MINIMUM THICKNESS OF INSULATION AT ANY LOCATION TO BE 1- $\frac{1}{2}$ " THICK.
 2. NEW STANDING SEAM PRE-FINISHED METAL CAP FLASHING, COLOR AND FINISH TO MATCH EXISTING BUILDING CAPFLASHING COLOR. GENERAL CONTRACTOR SHALL PROVIDE STANDING SEAM EXPANSION JOINT AT A MAXIMUM OF 10'-0" O.C. SEE DETAIL 08/01500.
 3. EXISTING MECHANICAL UNITS SHALL BE LIFTED AS NEEDED TO PROVIDE NEW FLASHING AT BASE AND NEW THERPED ROOF SYSTEM. SEE DETAIL 08/01500.
 4. NEW REINFORCED ROOFING MEMBRANE WALKWAY PADS, SEE LEGEND AND DETAIL 02/06300.
 5. NEW PNE ROOF PENALIZATION TO REMOVE VENT PIPE BOOT SEE SPECIFICATION AND DETAIL 03/01500.
 6. NEW 2A, PREFINISHED METAL FLASHING, COUNTERFLASHINGS AND WALL CAPS, COLOR TO MATCH EXISTING. SEE DETAIL 05/01500.
 7. PROPOSE SEALANT AND PAINT ALL ROOF PENALIZATIONS. NOTE: DO NOT PAINT ALUMINUM OR STAINLESS STEEL HOODS, VENTS, ETC.
 8. RIDGE LINE.
 9. VALLEY LINE. MINIMUM SLOPE IN VALLEY TO BE $\frac{1}{2}$ " PER FOOT.
 10. ROOF BELOW TO REMAIN UNDISTURBED.
 11. EXISTING ROOF TURTLE TYPE VENTS TO BE REMOVED AND REPLACED WITH NEW. NEW FLASHING TO BE FULLY ADHERED AS NECESSARY FOR INSULATION OF NEW ROOF SYSTEM.
 12. LOCATION WHERE UPPER ROOF CANTILEVERS OVER LOWER ROOF.
 13. LOCATION OF ROOF EXPANSION JOINT. SEE DETAIL 04/01500.
- ## GENERAL NOTES
1. CONTRACTOR MUST VIEW THE SITE SO AS TO BE FAMILIAR WITH ALL EXISTING CONDITIONS, BRING ANY QUESTIONS OR CONCERNS TO THE ATTENTION OF THE PROJECT MANAGER FOR CLARIFICATION. FOR ADDITIONAL BID OPENING, NO ALLOWANCES WILL BE MADE FOR CONDITIONS THAT ARE CLERICAL MISTAKES.
 2. CONTRACTOR SHALL WORK WITH LOCAL LEADERSHIP ON SITE TO MINIMIZE DISRUPTION TO THE COMMUNITY. WHETHER THE CONTRACTOR AND ANY OF HIS PEOPLE SHALL HAVE ACCESS TO THE BUILDING WITHOUT PRIOR AUTHORIZATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
 3. ALL SAFETY STANDARDS AND REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 4. BEFORE FABRICATION OF ANY SHEET METAL WORK, SUBMIT SHOP DRAWINGS TO PROJECT ARCHITECT FOR REVIEW AND APPROVAL.
 5. COMPLY WITH ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 6. CONTRACTOR RESPONSIBLE TO KEEP BUILDING WATERTIGHT AT ALL TIMES. ANY LEAKAGE OR DAMAGE TO THE BUILDING OR ITS CONTENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 7. CONTRACTOR TO CHECK ALL MECHANICAL EQUIPMENT BEFORE DISCONNECTING TO MAKE SURE THEY ARE OPERATING PROPERLY. CONTRACTOR IS RESPONSIBLE FOR UNITS TO BE IN COMPLETE OPERATING CONDITION AT THE COMPLETION OF THE PROJECT. COORDINATE SHUTDOWN WITH USER.
 8. ALL PIPES, CONDUITS AND MECHANICAL UNITS TO REMAIN ON ROOF ARE TO BE PROTECTED AND KEPT CLEAN THROUGH THE END OF CONSTRUCTION.
 9. FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING ANY MATERIALS, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, DO NOT SCALE DRAWINGS FOR DIMENSIONS.
 10. ANY SPONGE, PLYSOL, ETC. THAT NEEDS TO BE REMOVED TO PREPARE SURFACE FOR NEW FLASHING OR SEALANT SHALL BE TAKEN TO DISPOSE THAT ALL ITEMS TO BE REINSTALLED ARE NOT DAMAGED DURING REMOVAL AND/OR REINSTALLATION. CONTRACTOR MUST REPLACE ALL PIECES THAT ARE DAMAGED.
 11. AT THE END OF CONSTRUCTION, CONTRACTOR IS TO CLEAN OUT AND FLUSH ALL ROOF DRAIN LINES TO MAKE SURE THEY ARE NOT PLUGGED AND ARE IN WORKING CONDITION.
 12. ALL EXISTING VENT STACKS TO REMAIN. GENERAL CONTRACTOR SHALL EXTEND EXISTING VENT STACK AS PER NEW ROOF PLAN DRAWINGS AND DETAILS.
 13. ALL ROOF AREAS MUST STOP TO DRAIN. POND WATER IS NOT ACCEPTABLE. ALL TARGED INSULATION, DROCKETS, STUDIES AND ANY OTHER APPLICANCES MUST BE REMOVED AND REINSTATEMENT OF THIS CONTRACT.
 14. ROOFING SYSTEM TESTING AS PER UL 223 BASIC STANDARDS FOR ROOF PONDING WATER PENETRATION, INSTALLATION AS PER ANALYST SPECIFICATION.
 15. UNFABRICATED ROOFING SYSTEMS, THERPAGED CLASS $\frac{1}{2}$ " TO 1.0" ROOFING SYSTEM FULLY ADHERED

LEDGEND

- ← ARROW INDICATES DIRECTION OF EXISTING SLOPE
- P.R.D. — EXISTING PRIMARY AND SECONDARY ROOF DRAIN LOCATIONS. EXISTING PRIMARY AND SECONDARY ROOF DRAINS TO BE LOWERED AS NECESSARY
- S.R.D.

SHALL PROVIDE NEW CAST IRON ROOF DRAIN
BASKETS AT ALL EXISTING PRIMARY ROOF DRAIN
LOCATIONS. GENERAL CONTRACTOR SHALL
PROVIDE NEW LEAD ROOF DRAIN PANS AT ALL
EXISTING ROOF DRAIN LOCATIONS. SEE DETAIL
01/AD1500

NEW REINFORCED WALKWAY PADS SEE DETAIL
01/AD1502 AND SPECIFICATION.

---:---:--- CONTRACT LIMIT LINE

